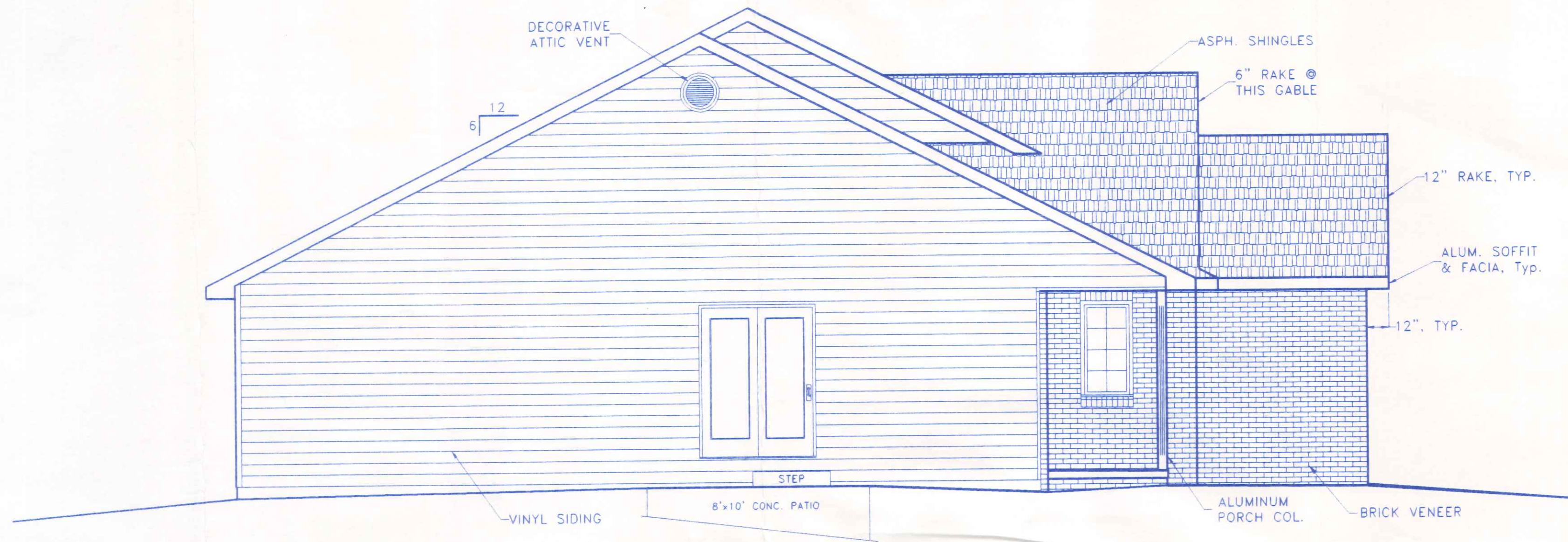


- INDEX OF DRAWINGS
- 1) FRONT & REAR EXTERIOR ELEVATIONS
 - 2) SIDE VIEW EXTERIOR ELEVATIONS
 - 3) FLOOR PLAN
 - 4) FOUNDATION PLAN
 - 5) ELECTRICAL PLAN & SERVICE RISER DIAGRAM
 - 6) SECTIONS & SPECIFICATIONS
 - S-1) SITE PLAN & LOCATION MAP

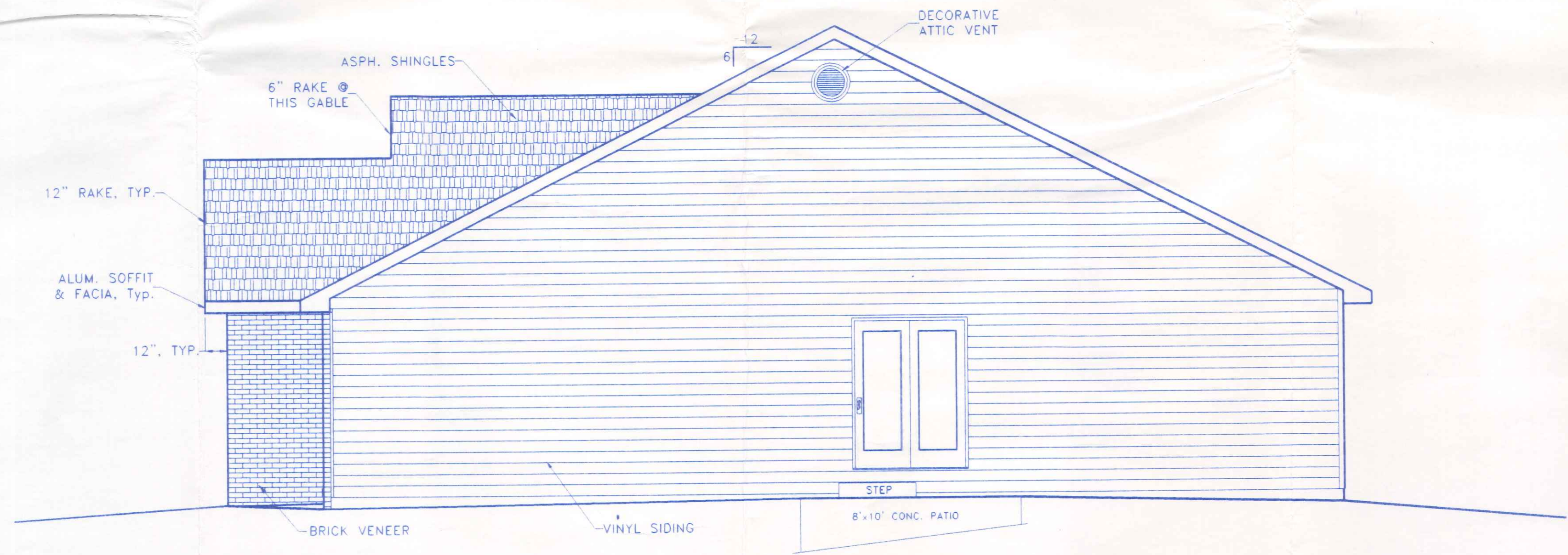
Beck's Construction Co

NEW DIMENSIONS		
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DIRECTORY: C:\ND\LANKENAU	DRAWN BY: R.D.S.	DATE: JULY, 2004
FILE NAME: PICKETFENCES\DUPLX	SCALE: 1/4"=1'-0"	REVISED:
DUPLX APARTMENT 410 Cambridge		
FRONT & REAR ELEVATION		DRAWING NUMBER: 1 of 6

410 + 420 Cambridge St.

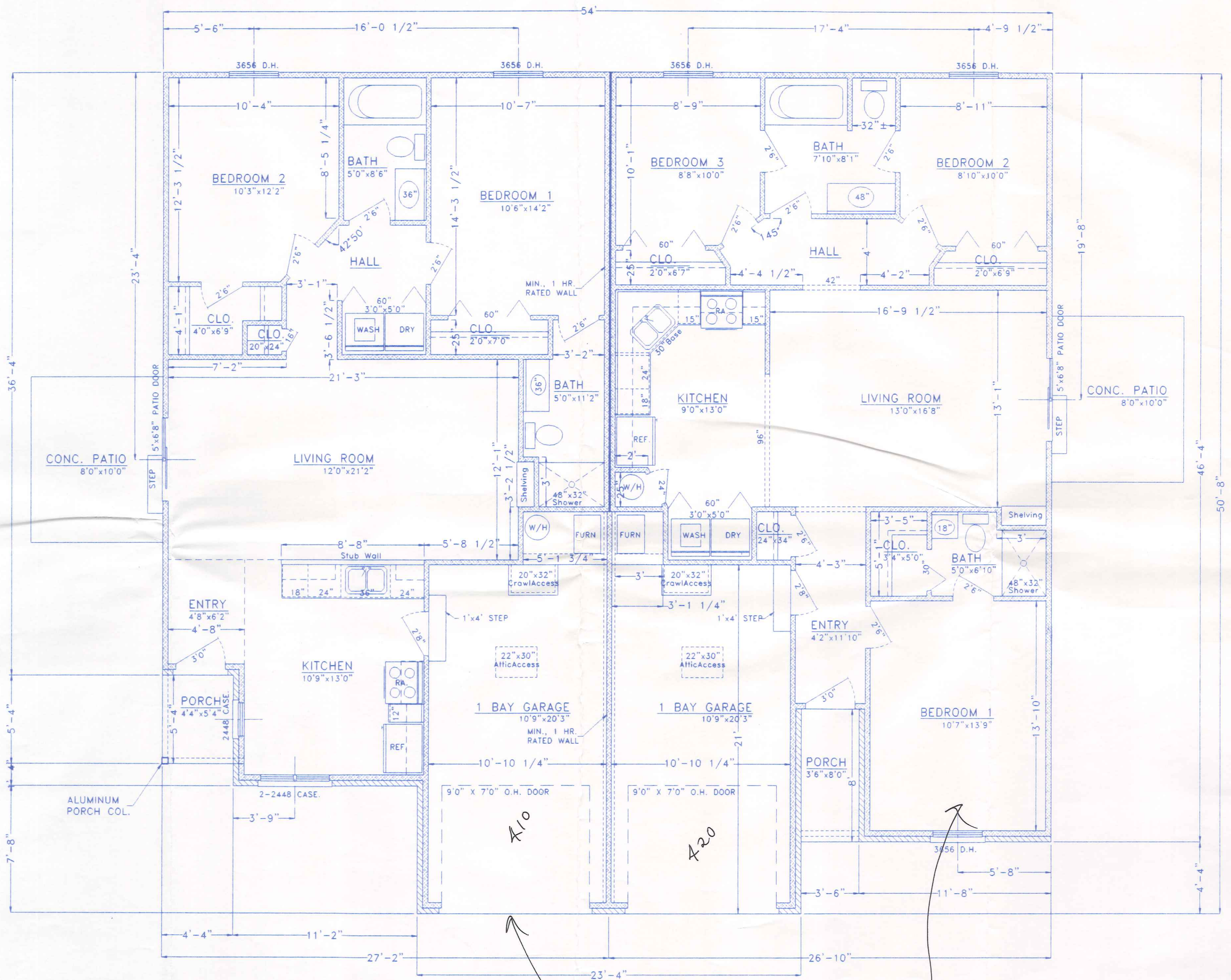


RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

NEW DIMENSIONS		
1445 N. Scott St.	419/599-8339	NAPOLEON, OHIO
DIRECTORY: C:\ND\LANKENAU	DRAWN BY: R.D.S.	DATE: JULY, 2004
FILE NAME: PICKETTENCES\DUPLX	SCALE: 1/4"=1'-0"	REVISED:
DUPLX APARTMENT		
SIDE VIEW ELEVATIONS		DRAWING NUMBER: 2 of 6



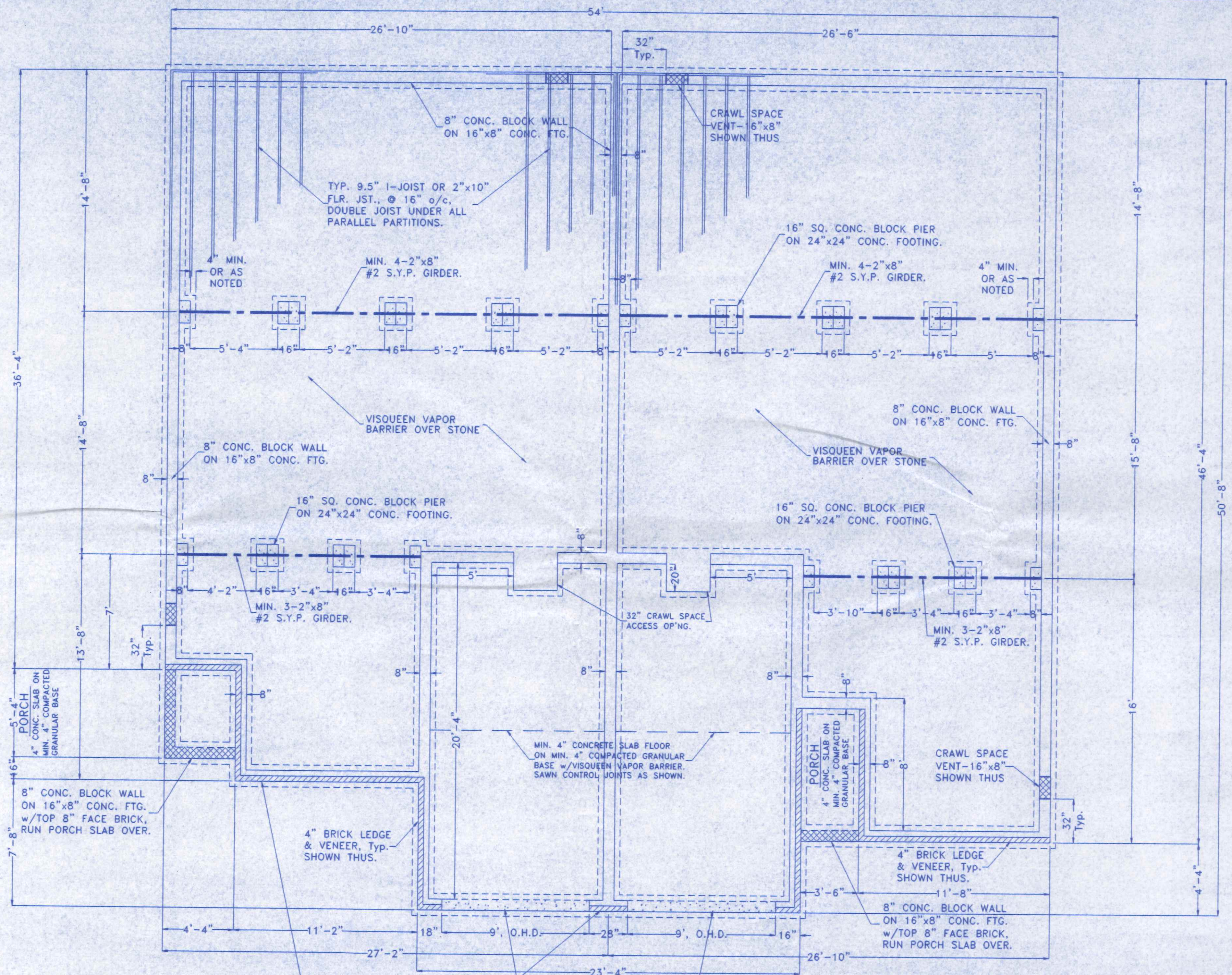
A10

A20

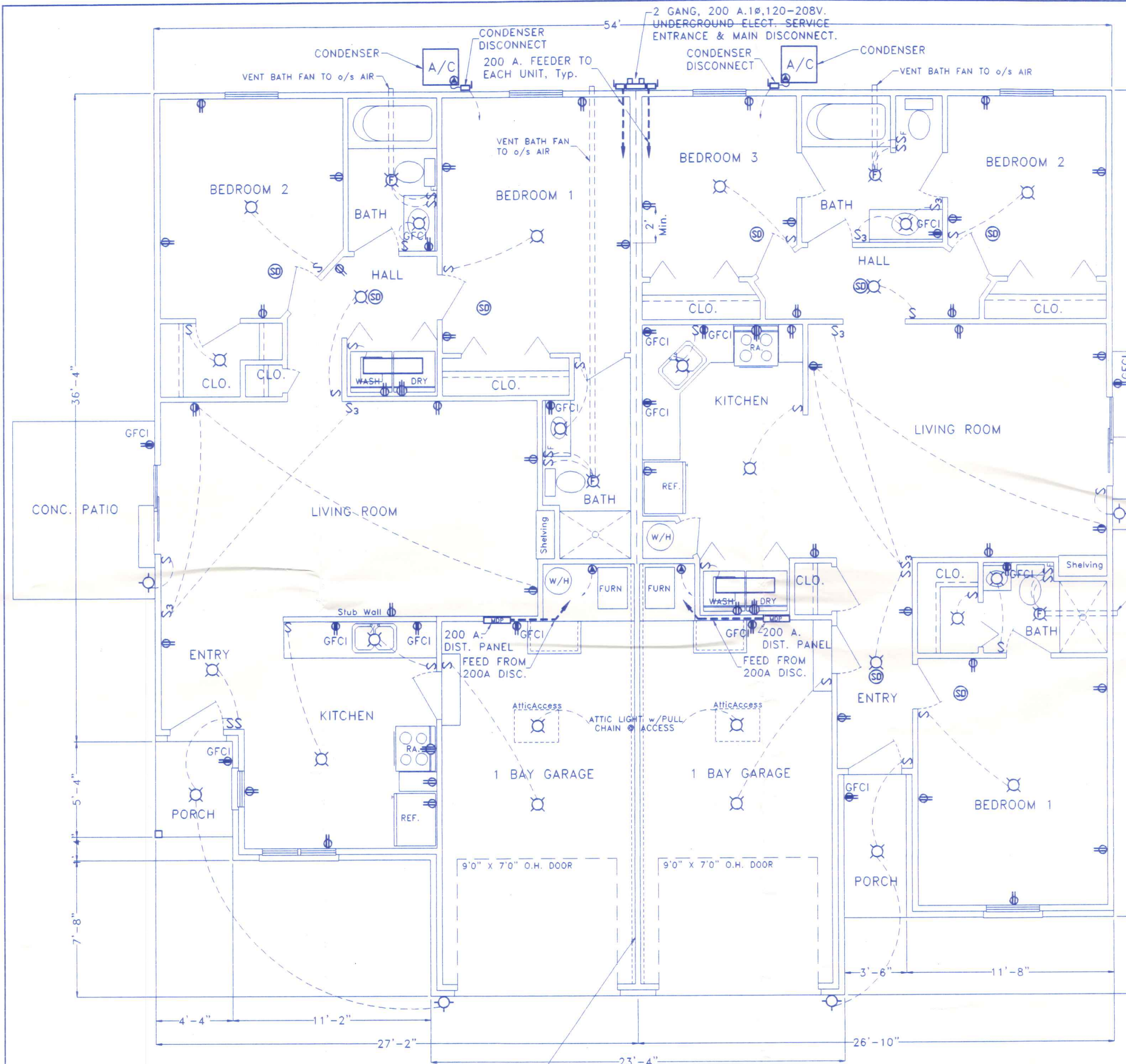
UNIT AREAS

2 BEDROOM APT.:	975.6 SQ. FT. LIVING AREA - GROSS
	253.1 SQ. FT. GARAGE - GROSS
	23.1 SQ. FT. PORCH - NET
3 BEDROOM APT.:	1,016.2 SQ. FT. LIVING AREA - GROSS
	249.6 SQ. FT. GARAGE - GROSS
	28.0 SQ. FT. PORCH - NET

NEW DIMENSIONS		
1445 N. Scott St.	419/599-8339	NAPOLEON, OHIO
DIRECTORY: C:\ND\LANKENAU	DRAWN BY: R.D.S.	DATE: JULY, 2004
FILE NAME: PICKETTENCES\DUPLX	SCALE: 1/4"=1'-0"	REVISED:
DUPLX APARTMENT		
FLOOR PLAN		
		DRAWING NUMBER: 3 of 6



NEW DIMENSIONS		
1445 N. Scott St.	419/599-8339	NAPOLEON, OHIO
DIRECTORY: C:\ND\LANKENAU	DRAWN BY: R.D.S.	DATE: JULY, 2004
FILE NAME: PICKETTENCES\DUPLX	SCALE: 1/4"=1'-0"	REVISED:
DUPLX APARTMENT		
FOUNDATION PLAN		DRAWING NUMBER: 4 of 6

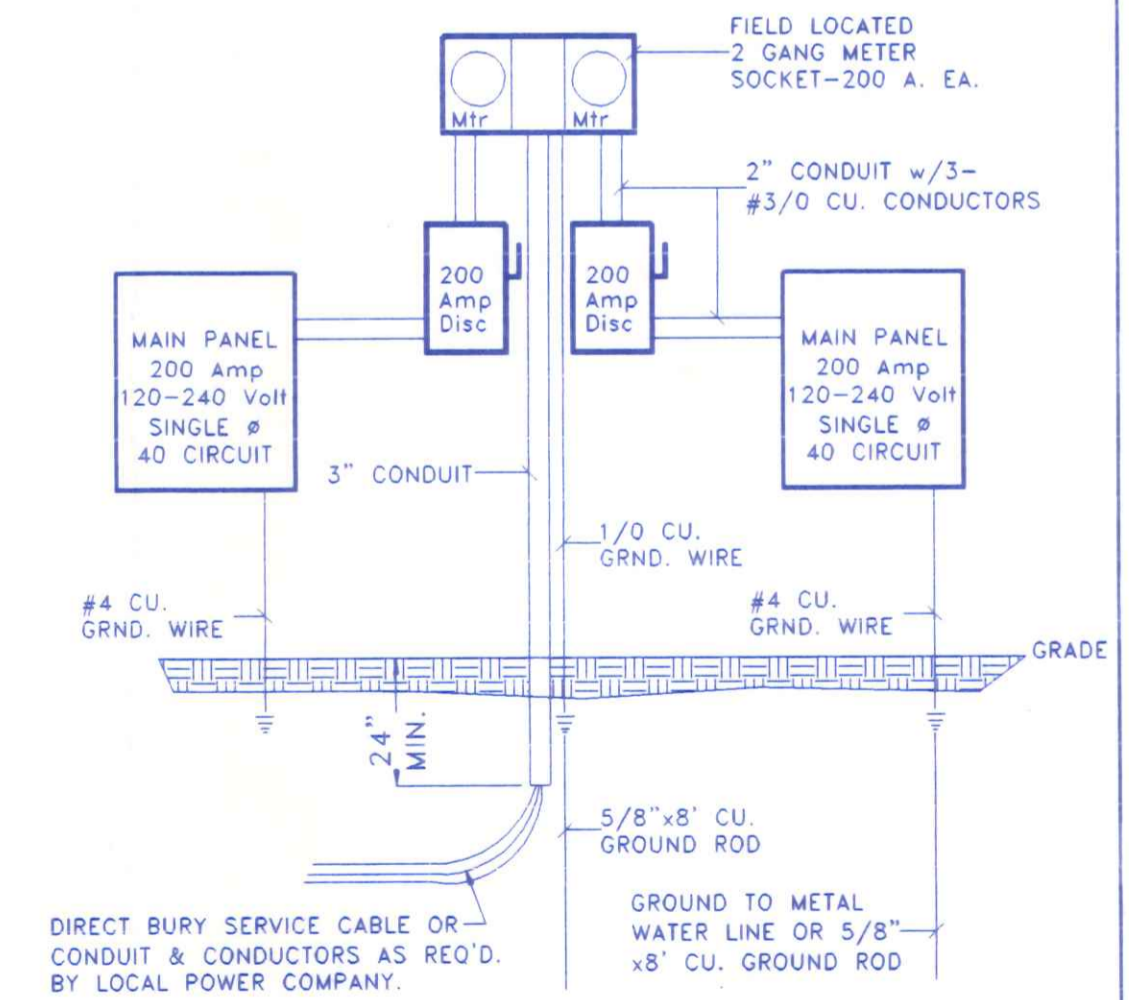


ELECTRICAL NOTES

1. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, ETC. TO PROVIDE A COMPLETE & OPERABLE ELECTRICAL INSTALLATION AS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL VISIT THE SITE AS TO SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
3. ALL ELECTRICAL WORK SHALL BE INSPECTED AND APPROVED BY THE STATE BUILDING INSPECTION AGENCY, OR THE LOCAL INSPECTION AGENCY HAVING JURISDICTION.
4. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
5. ALL RACEWAYS BURIED IN EARTH, RUN EXPOSED OR CAST IN CONCRETE SHALL BE RIGID, GALVANIZED STEEL CONDUIT. CONDUITS BURIED IN EARTH OR CAST IN CONCRETE MAY BE PVC SCH. 40 CONDUIT WITH RIGID STEEL ELBOWS & RISERS, 3/4" DIAMETER MINIMUM. A GROUND WIRE SHALL BE ADDED IN ALL PVC CONDUIT RUNS.
6. BRANCH CIRCUIT WIRING SHALL BE COPPER CONDUCTORS, NO. 12 AWG MINIMUM.
7. CONTRACTOR SHALL GUARANTEE HIS WORKMANSHIP AND ALL MATERIALS (EXCEPT LAMPS) FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE.
8. ALL MATERIALS FURNISHED AND/OR INSTALLED UNDER THIS CONTRACT SHALL BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE AND SHALL BE U.L. LISTED.
9. PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTED OUTLETS AT ALL RECEPTICLES IN BATHS, NEAR KITCHEN SINK, OUTDOORS & IN GARAGE AREAS.
10. THIS CONTRACTOR SHALL REMOVE DEBRIS CREATED BY THIS PORTION OF THE CONTRACT AND SHALL CLEAN ALL FIXTURES, PANELS, EQUIPMENT, ETC. AT THE COMPLETION OF THE PROJECT.

ELECTRICAL LEGEND

- 2 TUBE FLUORESCENT LIGHT
- INCANDESCENT CEILING LIGHT FIXTURE
- INCANDESCENT WALL MOUNT LIGHT FIXTURE
- LIGHT SWITCH
- FAN SWITCH
- 3 WAY LIGHT SWITCH
- 120 V. OUTLET G.F.C.I.
- 120 V. DUPLEX RECEPTICLE
- 120 V. DUPLEX RECEPT. 1/2 SWITCHED
- 208 V. APPLIANCE RECEPTICLE
- APPROVED SMOKE DETECTOR
- SPECIAL OUTLET
- EXHAUST FAN
- VENT BATH FANS TO OUTSIDE AIR



ELECTRICAL RISER DIAGRAM
NO SCALE

SEPARATION WALL NOTE:
SEPARATION WALL CAVITY SHALL NOT CONTAIN ANY PLUMBING, OR MECHANICAL EQUIPMENT, DUCTS, OR VENTS. ALL ELECTRICAL OUTLET BOXES SHALL BE METALIC AND SHALL NOT EXCEED 16 SQUARE INCHES IN SURFACE AREA. THE TOTAL SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQ. IN. PER 100 SQ. FT. OF WALL AREA. OUTLET BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED A MINIMUM DISTANCE OF 24", HORIZONTALLY.

NEW DIMENSIONS		
1445 N. Scott St.	419/599-8339	NAPOLEON, OHIO
DIRECTORY: C:\ND\LANKENAU	DRAWN BY: R.D.S.	DATE: AUGUST, 2004
FILE NAME: PICKETFENCES\DUPLX	SCALE: 1/4"=1'-0"	REVISED:
DUPLX APARTMENT		
ELECTRICAL PLAN & RISER		DRAWING NUMBER: 5 of 6

GENERAL NOTES:

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE BASIC CONDITIONS AND CODE REQUIREMENTS OF THE 2002 OHIO BUILDING CODE AND THE "CABO" ONE AND TWO FAMILY DWELLING CODE (LATEST EDITION). SINCE LOCAL CODES AND ORDINANCES MAY VARY, THIS PLAN IS NOT WARRANTED TO COMPLY WITH ANY SPECIFIC CODE. IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR HIS AGENT TO CONSULT WITH THE LOCAL BUILDING OFFICIAL HAVING JURISDICTION TO DETERMINE THE SUFFICIENCY OF THESE PLANS FOR THE SPECIFIC SITE AND USE. ADDITIONALLY, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSURE STRICT COMPLIANCE WITH ALL APPLICABLE CODE REQUIREMENTS AND ORDINANCES.

WHERE THE PROVISIONS OF THE BUILDING CODE(S) AND THESE PLANS CONFLICT THE MOST RESTRICTIVE REQUIREMENTS SHALL APPLY.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE ASSUMED TO HAVE VISITED THE PROPOSED BUILDING SITE SO AS TO BECOME FAMILIAR WITH ANY SITE-SPECIFIC JOB REQUIREMENTS. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS RELATING TO THE WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNERS' ARCHITECT OR ENGINEER PRIOR TO PROCEEDING.

PREFABRICATED FIREPLACE UNITS AND FLUES SHALL BE U.L. LISTED FOR THE USE AND SHALL BE INSTALLED AS PER THE MANUFACTURERS REQUIREMENTS. GARAGES SHALL BE COMPLETELY SEPARATED FROM THE RESIDENCE AND ITS ATTIC AS REQUIRED BY LOCAL CODE. IN NO CASE SHALL THE SEPARATION BE LESS THAN 1/2" GYPSUM BOARD, OR EQUAL, APPLIED TO THE GARAGE SIDE WITH ANY OPENINGS PROTECTED WITH A 1-3/8" SOLID CORE WOOD DOOR, OR BETTER.

CONFIRM THE REQUIRED SIZES AND LOCATIONS OF EMERGENCY EGRESS OPENINGS FROM BEDROOMS WITH LOCAL CODE OFFICIALS.

PROVIDE WEATHER-STRIPPING AT ALL EXTERIOR DOOR OPENINGS AND CAULK, OR OTHERWISE SEAL, ALL JOINTS AND UTILITY LINE ENTRANCES SUBJECT TO AIR INFILTRATION.

INSULATION OF THE BUILDING ENVELOPE SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE OHIO BUILDING CODE.

BUILDING DATA:

USE GROUP : "R" 1, 2 OR 3 FAMILY RESIDENTIAL (SITE BUILT)

CONSTRUCTION TYPE : 5-B, WOOD FRAME

MINIMUM DESIGN LOADS:

FLOOR: 40 psf. LIVE plus DEAD LOAD (LIVING AREAS)
30 psf. LIVE plus DEAD LOAD (BEDROOMS)
ROOF: 20 psf. LIVE LOAD plus DEAD LOAD
WIND: 80 mph wind speed.
SOIL BEARING CAPACITY: 2,000 p.s.f. (Class 5 Soils)

CONCRETE, MASONRY AND FOUNDATION NOTES:

ALL CONCRETE SHALL BE A MINIMUM OF 2800 p.s.i. COMPRESSIVE STRENGTH @ 28 DAYS, REINFORCED AS NOTED. ALL EXTERIOR CONCRETE FLATWORK SHALL BE AIR ENTRAINED (MIN. 6% ±2%) CONCRETE. ALL CONCRETE SHALL BE ALLOWED TO CURE A MINIMUM OF 14 DAYS PRIOR TO LOADING.

ALL SLABS ON GRADE SHALL BEAR ON A MINIMUM OF 4" COMPACTED GRANULAR FILL AND SHALL BE PROVIDED WITH EXPANSION & CONTROL JOINTS AS REQUIRED. PROVIDE A MIN. 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL INTERIOR CONCRETE FLOOR SLABS.

FOUNDATION WALLS SHALL BE POURED CONCRETE A MINIMUM OF 8" IN WIDTH OR MINIMUM 8" GRADE N, TYPE 1, HOLLOW CORE LOAD BEARING CONCRETE MASONRY UNITS LAID IN TYPE "M" MORTAR. ALL CORES CONTAINING VERTICAL REINFORCEMENT OR ANCHOR BOLTS SHALL BE FULLY GROUTED. VERIFY AND COMPLY WITH LOCAL FROST DEPTH REQUIREMENTS. FOUNDATION WALLS SHALL NOT BE COMPLETELY BACKFILLED UNTIL THE FIRST FLOOR FRAMING AND SUB-FLOOR IS COMPLETED.

STEEL REINFORCEMENT AND ANCHOR BOLT NOTES:

ALL STRUCTURAL STEEL BEAMS AND PLATES SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION A-36.

ALL ANCHOR BOLTS SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION A-307. MINIMUM ANCHOR BOLT PROJECTION SHALL BE 2.5". MINIMUM ANCHOR BOLT EMBEDMENT SHALL BE 9" IN POURED CONCRETE AND 15" IN CONCRETE MASONRY UNITS. ANCHOR BOLTS SHALL BE 1/2" @ SPACED 1' FROM EACH CORNER AND @ 6" O/C. MAXIMUM.

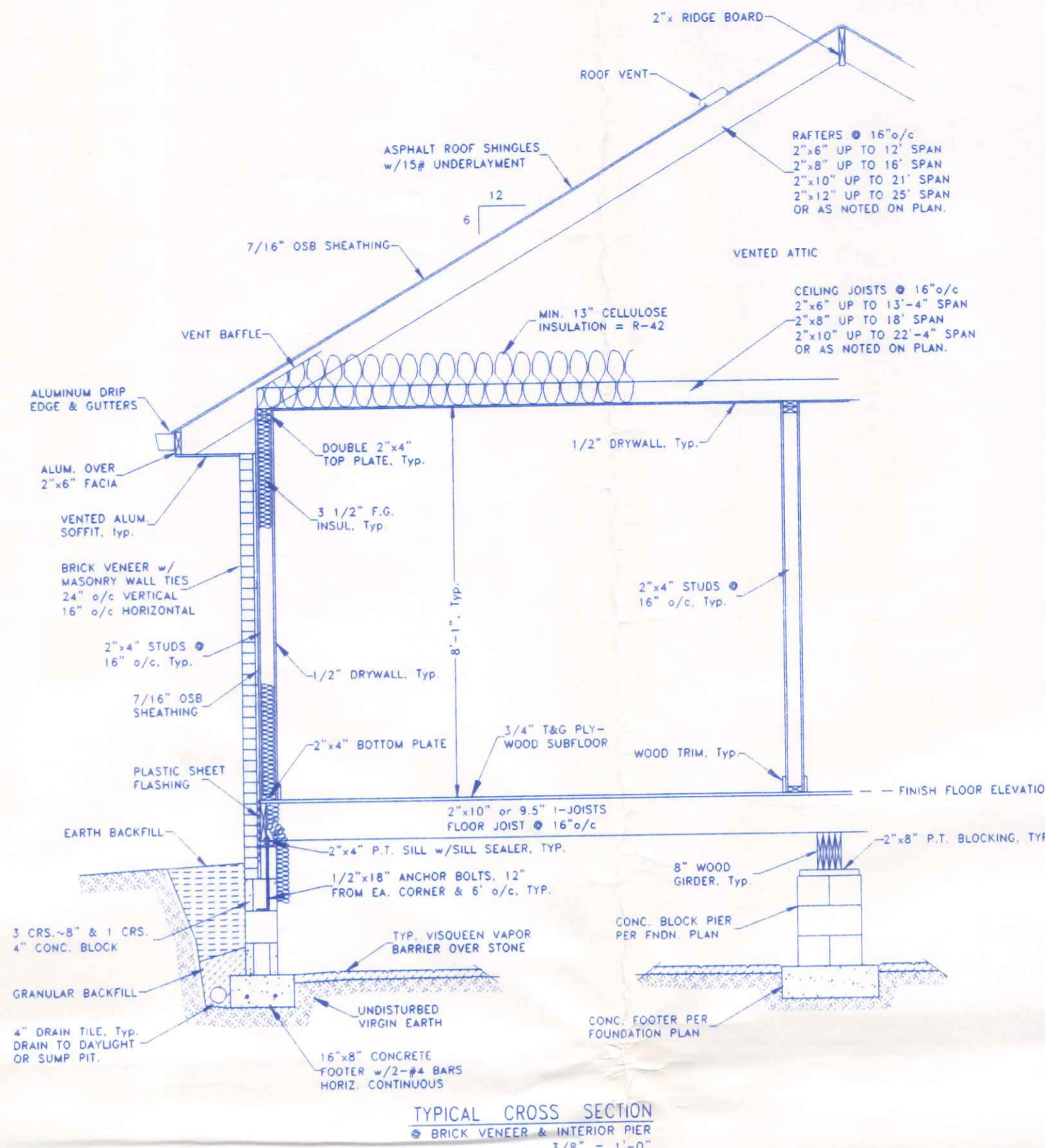
ALL REINFORCING STEEL FOR CONCRETE SHALL COMPLY WITH THE REQUIREMENTS OF ASTM SPECIFICATION A-615, A616 OR A-617, GRADE 60.

FRAMING NOTES:

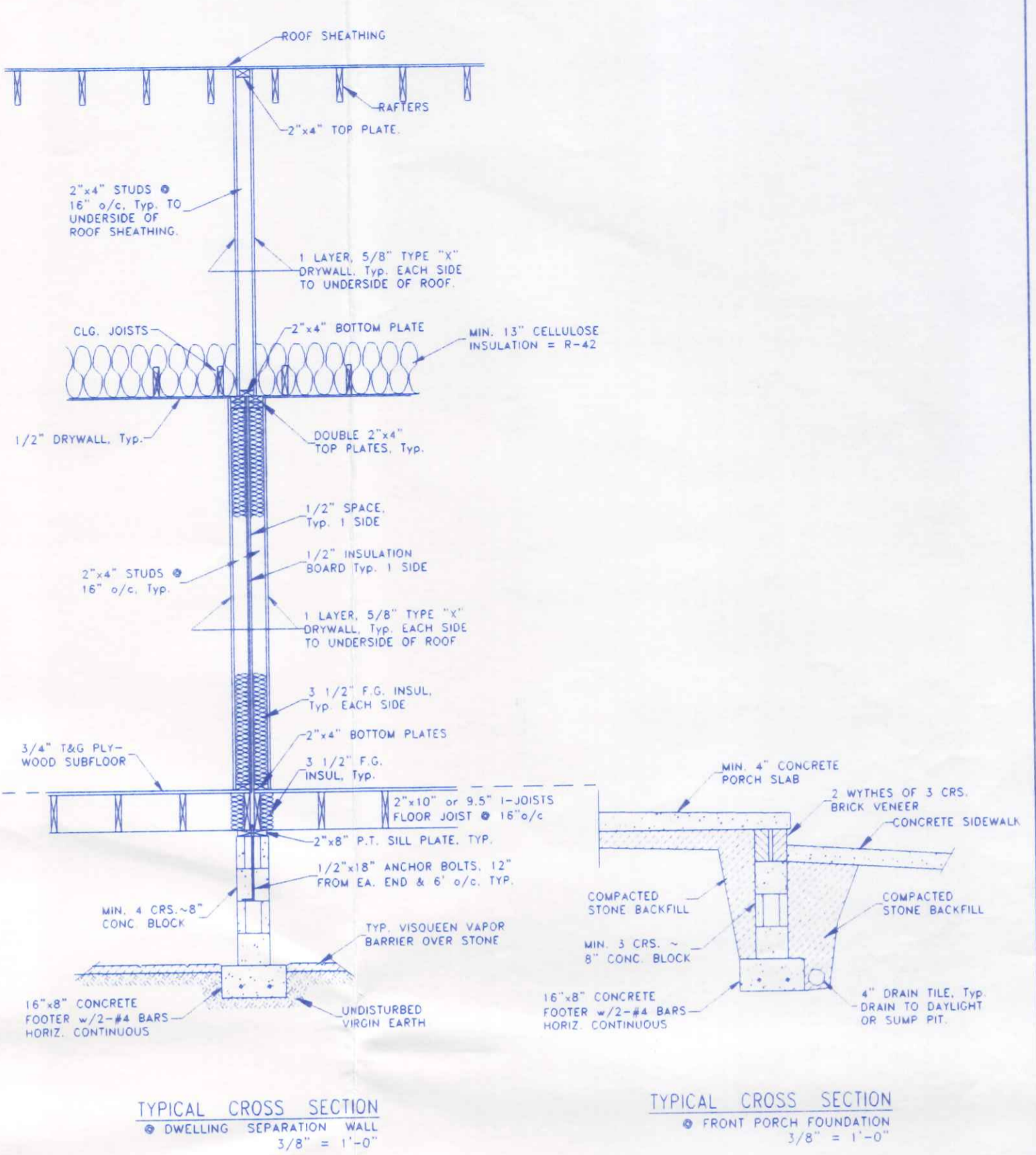
INTERIOR DIMENSIONS ARE TAKEN TO THE STUD LINE, EXTERIOR DIMENSIONS ARE TAKEN TO THE OUTSIDE FACE OF THE FOUNDATION OR SHEATHING. ROOM SIZES SHOWN ARE APPROXIMATE FINISHED ROOM SIZES ADD 1" TO ROOM SIZES FOR FRAMING DIMENSIONS. ALL DIMENSIONAL FRAMING LUMBER SHALL BE EQUAL TO, OR BETTER THAN, #2 SPRUCE-PINE-FIR. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE/MASONRY OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE TREATED LUMBER. CONTRACTOR SHALL CONFIRM THE SIZE AND SPACING OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET LOCAL CODES WITH THE LOCAL CODE OFFICIAL. REQUIRED STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLAN SHALL BE SIZED BY THE CONTRACTOR TO MEET LOCAL CONDITIONS. STRUCTURAL FRAMING MEMBERS WHICH ARE SIZED HEREON ARE SUGGESTIVE ONLY. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL SIZING OF ALL STRUCTURAL MEMBERS AS REQUIRED. AND SHALL CONFIRM THEIR SUFFICIENCY WITH LOCAL CODE OFFICIALS. DOUBLE STUDS SUPPORTING ALL HEADERS, BEAMS AND GIRDERS. ALL WALLS ARE 8'-0" NOMINAL HEIGHT, EXCEPT AS NOTED OR IMPLIED. ALL ANGLED WALLS SHOWN ARE AT 45° ANGLE, UNLESS OTHERWISE NOTED. ALL TRUSSES TO BE UTILIZED SHALL BE ENGINEERED BY THE TRUSS MANUFACTURER TO MEET THE LOADING REQUIREMENTS SHOWN HEREON OR THE REQUIREMENTS OF THE LOCAL CODE AND CONDITIONS WHICHEVER ARE GREATER. THE TRUSS MANUFACTURER SHALL SUPPLY A TRUSS DIAGRAM TO THE OWNER FOR EACH TYPE OF TRUSS USED, SIGNED AND SEALED BY AN OHIO REGISTERED PROFESSIONAL ENGINEER, HIP OR VALLEY RAFTERS OVER 24'-0" IN LENGTH SHALL BE (LVL) LAMINATED VENEER LUMBER.

ROOM FINISH NOTES:

- ALL INTERIOR FINISH MATERIALS, COLORS, ETC., SHALL BE CHOSEN BY THE OWNER FROM MANUFACTURERS STANDARDS.
- DRYWALL SHALL BE 1/2" OR 5/8" (AS NOTED) GYPSUM WALLBOARD, 4" WIDE, ATTACHED TO JOISTS OR STUDS WITH 1-1/2" LONG TYPE "S" SELF-TAPPING STEEL SCREWS IN STEEL FRAMING, OR 1-3/8" DRYWALL SCREWS OR ANNULAR RINGED DRYWALL NAILS IN WOOD FRAMING, SPACED 7" O/C ALONG EDGES OF BOARD AND 10" O/C IN THE FIELD OF THE BOARD. JOINT COMPOUND SHALL BE VINYL, DRY OR PREMIXED, APPLIED IN TWO COATS TO JOINTS AND FASTENER HEADS WITH 2" WIDE PAPER TAPE EMBEDDED IN FIRST LAYER OF COMPOUND OVER ALL JOINTS. ALL SURFACES SHALL BE SANDED SMOOTH & RECEIVE ONE COAT OF DRYWALL PRIMER/SEALER AND ONE COAT OF LATEX PAINT TO FINISH.
- ALL CONCRETE FLOOR SURFACES SHALL RECEIVE ONE COAT OF CONCRETE SEALER/CURING COMPOUND.

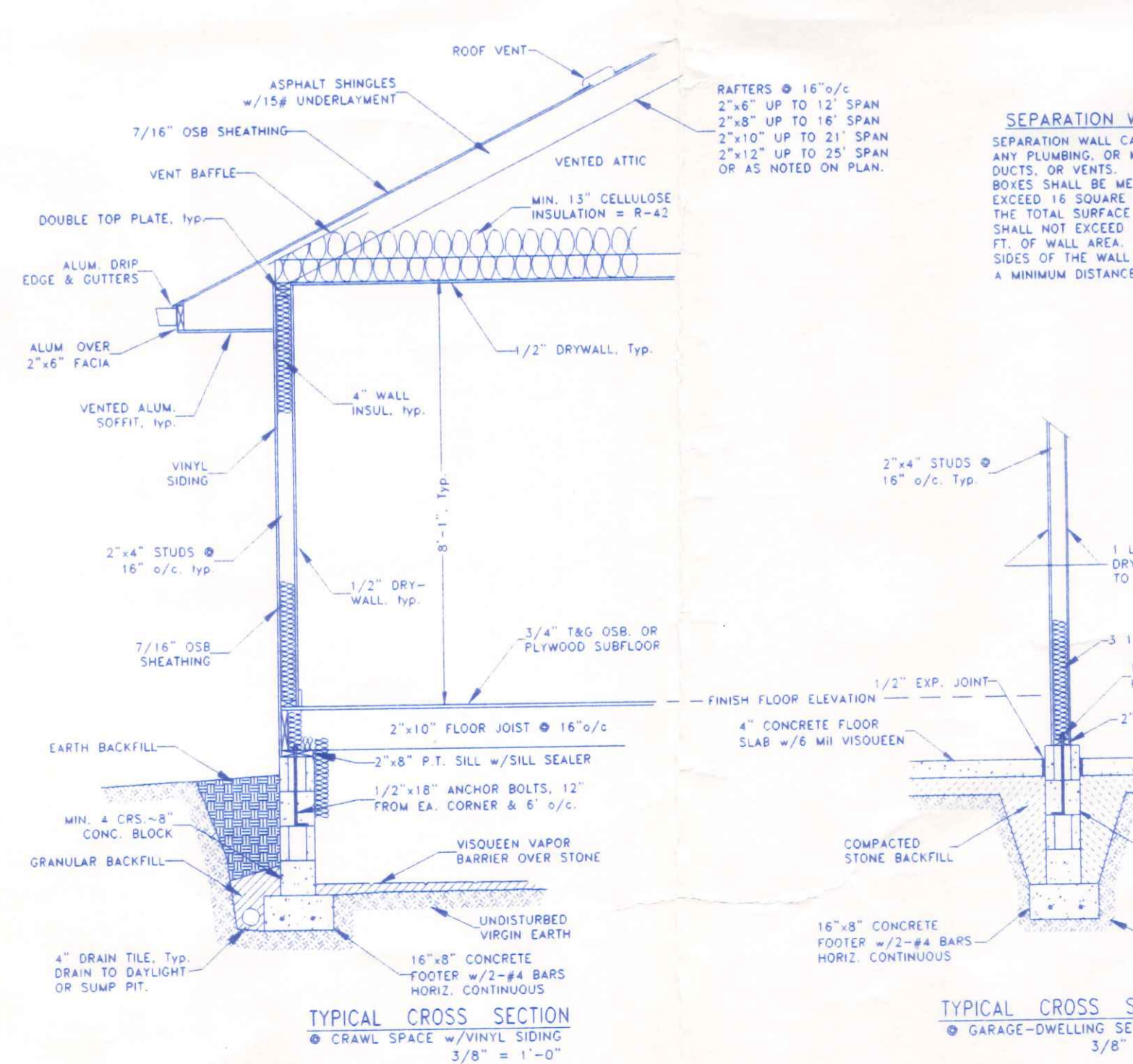


TYPICAL CROSS SECTION
BRICK VENEER & INTERIOR PIER
3/8" = 1'-0"

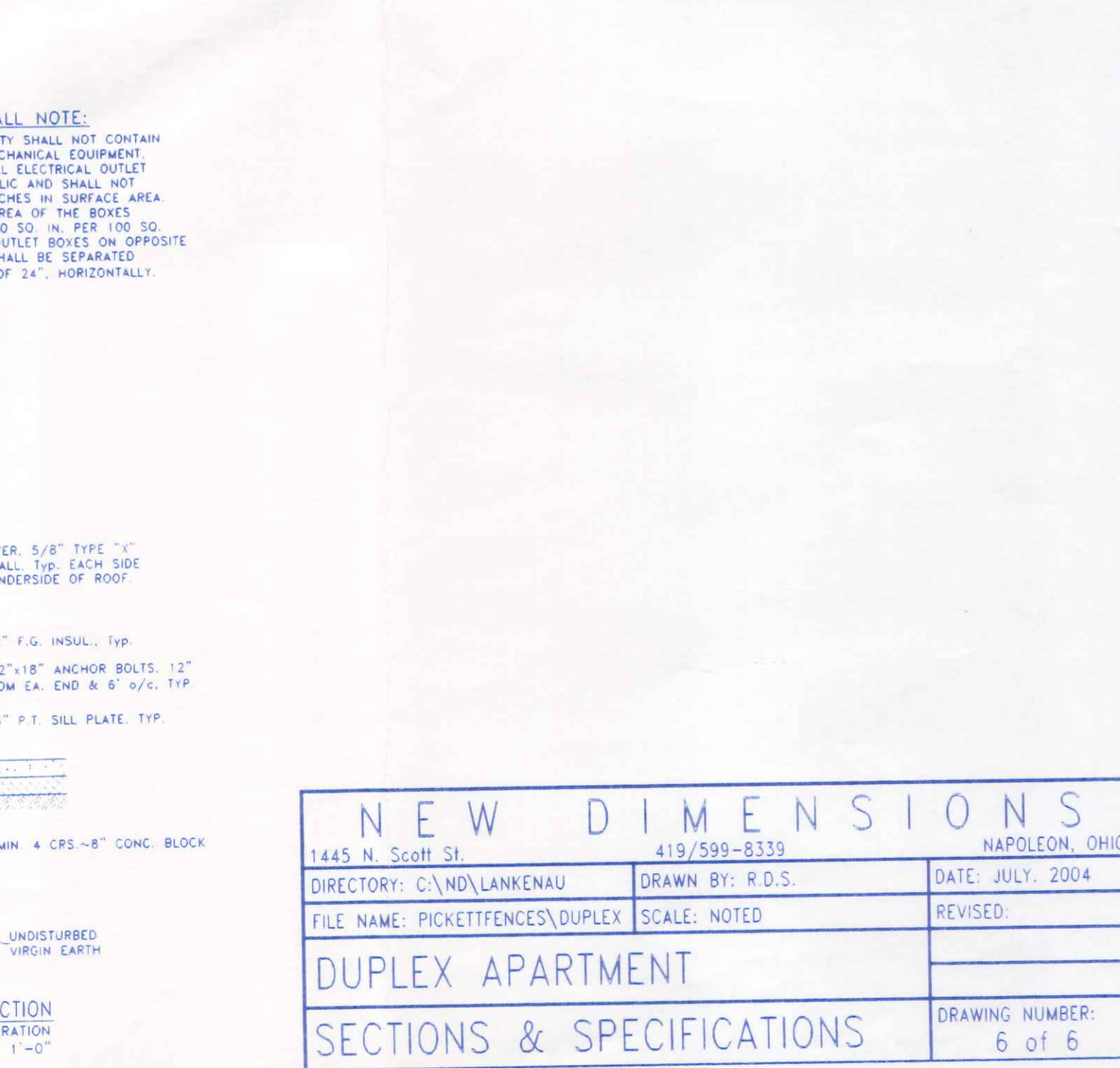


TYPICAL CROSS SECTION
DWELLING SEPARATION WALL
3/8" = 1'-0"

TYPICAL CROSS SECTION
FRONT PORCH FOUNDATION
3/8" = 1'-0"



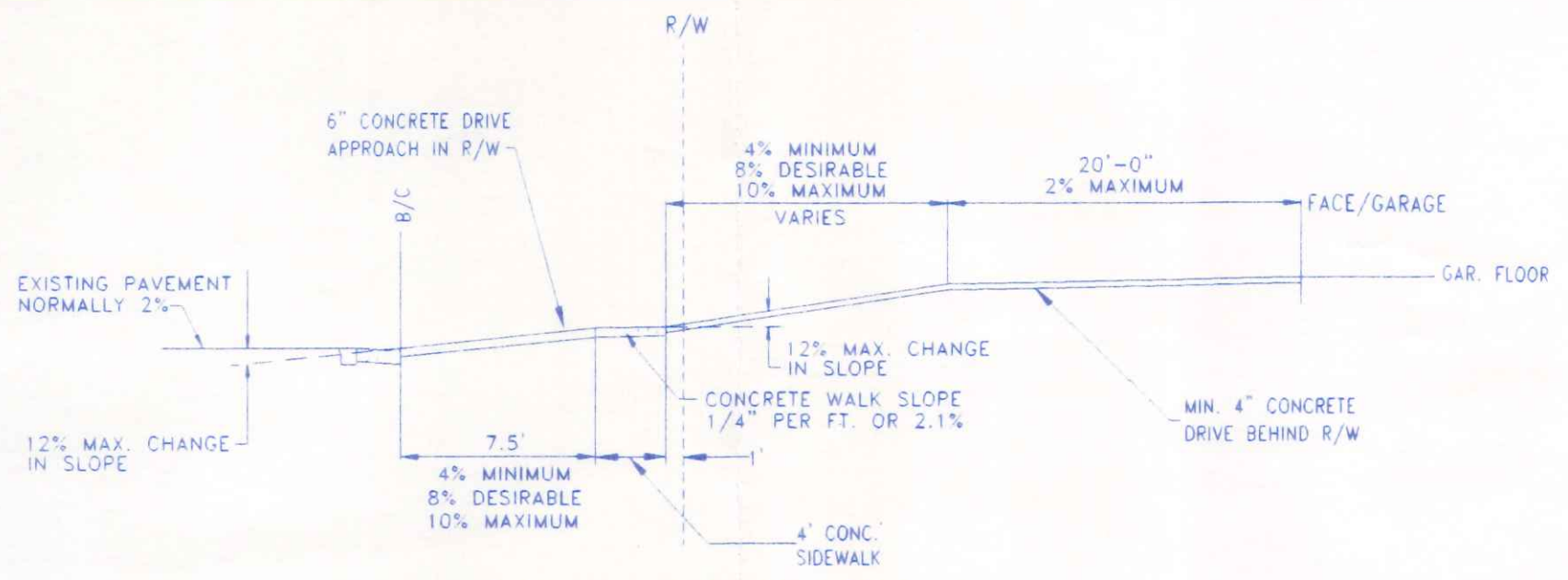
TYPICAL CROSS SECTION
CRAWL SPACE w/VINYL SIDING
3/8" = 1'-0"



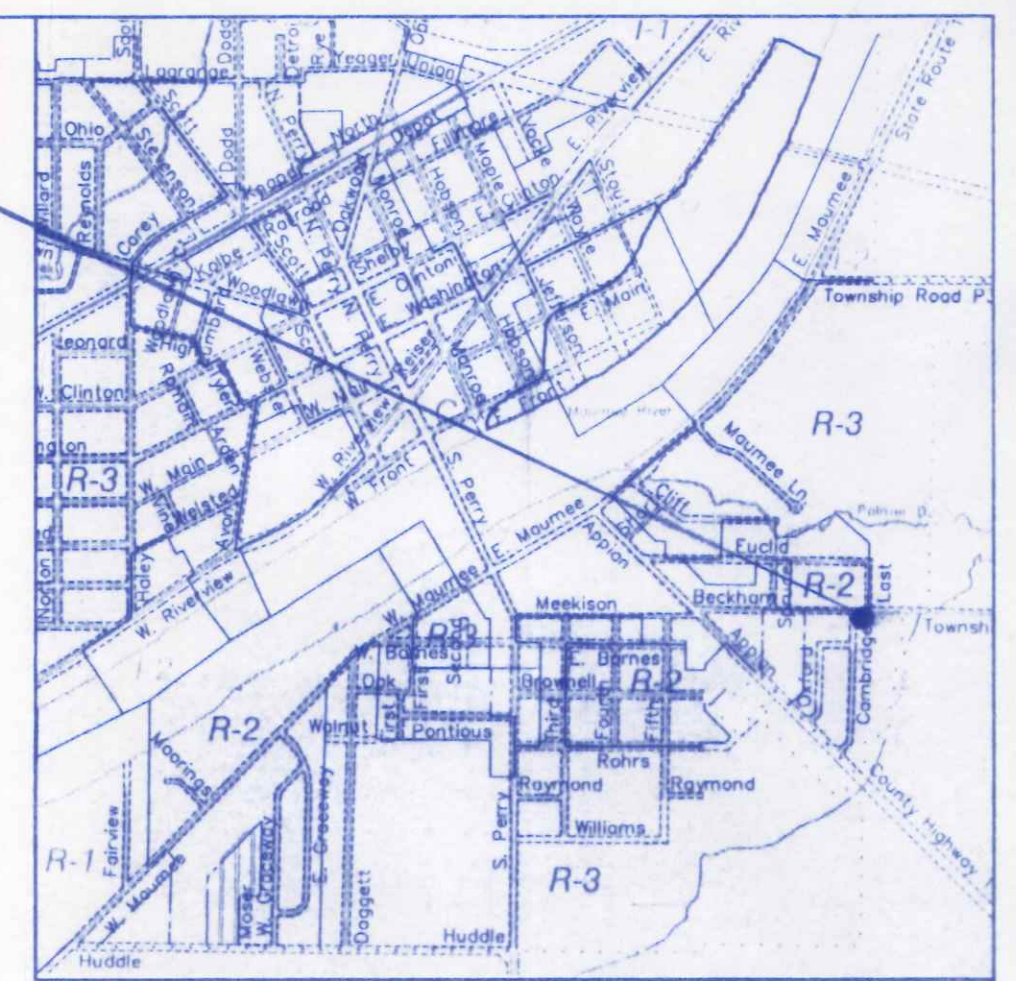
TYPICAL CROSS SECTION
GARAGE-DWELLING SEPARATION
3/8" = 1'-0"

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NEW DIMENSIONS		
1445 N. Scott St.	419/599-8339	NAPOLEON, OHIO
DIRECTORY: C:\ND\LANKENAU	DRAWN BY: R.D.S.	DATE: JULY, 2004
FILE NAME: PICKETTFCNCES\DUPLX	SCALE: NOTED	REVISED:
DUPLX APARTMENT		
SECTIONS & SPECIFICATIONS		
		DRAWING NUMBER: 6 of 6



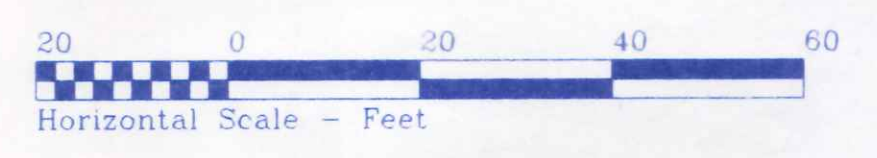
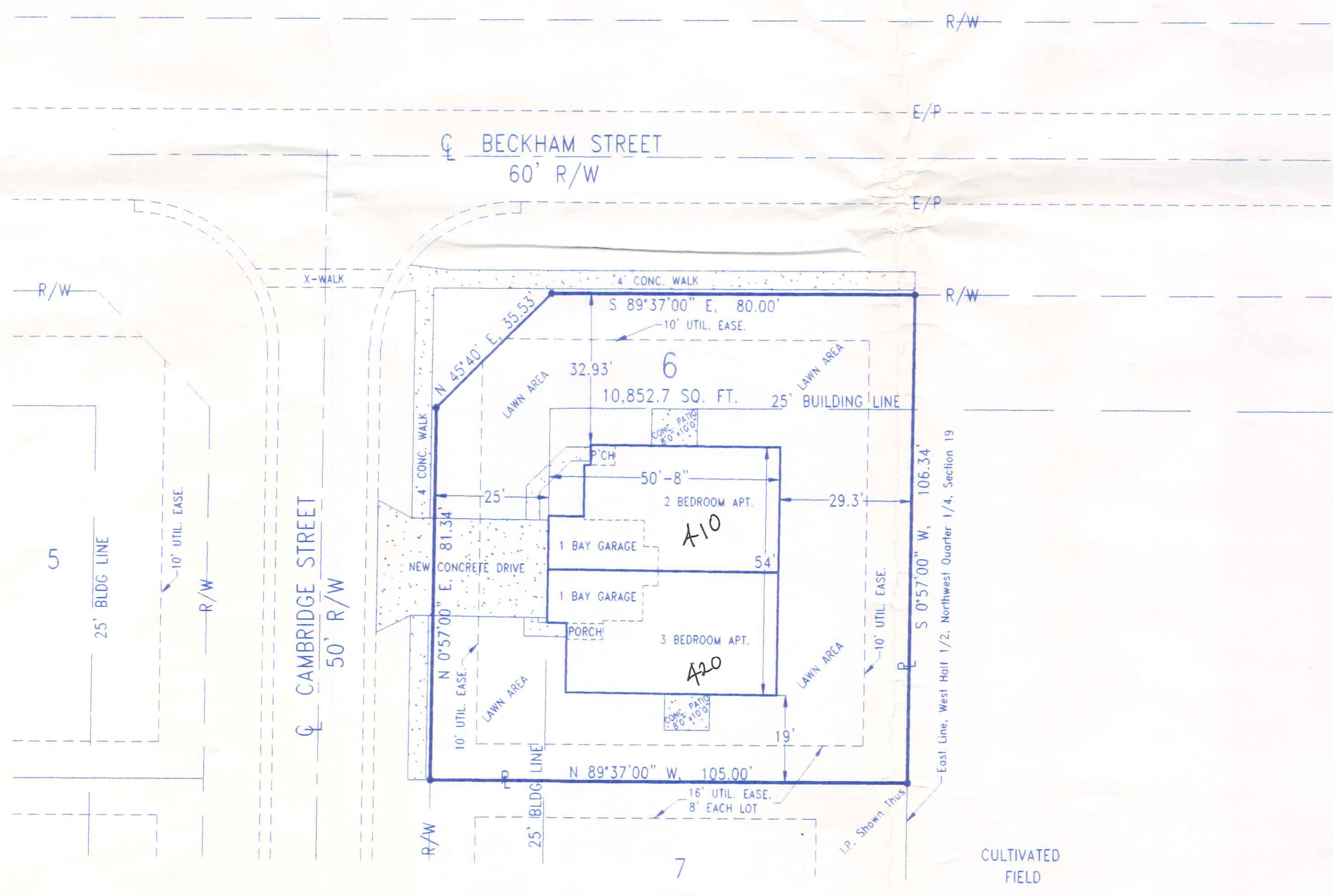
DRIVE APPROACH & GARAGE ELEVATION DETAIL



LOCATION MAP



OHIO UTILITIES PROTECTION SERVICE
 The underground utilities shown hereon are only approximate. Some of the utilities were located by field observation, where possible, and the remaining utilities were derived from various records. Exact locations must be determined by the UTILITY COMPANIES. For exact locations, telephone the Ohio Utilities Protection Service (O.U.P.S.) toll free at 1-800-362-2764. (Telephone 2 working days before any digging.)



SITE LOCATION PLAN
 FOR
LOT NO. 6
 PICKETT FENCES SUBDIVISION, PHASE IV
 CITY OF NAPOLEON, NAPOLEON TWP.
 HENRY COUNTY, OHIO

	BECK CONSTRUCTION CO	
	COUNTY ROAD M 419/592-8307	NAPOLEON, OHIO
DIRECTORY: C:\BECK\PICKETT FENCES	DRAWN BY: R.D.S.	
FILE NAME: LOTSPH4	REVISED:	
LOT 6, PICKETT FENCES		SCALE: 1" = 20'
SITE PLAN		DATE: JULY, 2004
		DRAWING NUMBER: S - 1